

Newport Aquatic Center and Sitework
225 SE Avery Street
Newport, OR 97365



Robertson/Sherwood/Architects pc
132 East Broadway – Suite 540
Eugene, Oregon 97401

This Addendum forms a part of the Contract Documents and modifies the original Documents dated 17 June 2015 as noted below. Acknowledged receipt of this Addendum is required. Failure to do so may subject the Bidder to disqualification.

BIDDING REQUIREMENTS

1. SECTION 00 41 00 – BID FORM

- A. Replace the Bid Form in its entirety with the new Bid Form included with this Addendum. Clarification: Bid Form has been updated to include a new line item for gas lines in Bid Package A and unit pricing for overexcavation of loose soils in Bid Package B.

PACKAGE B - PROJECT MANUAL

2. DOCUMENT 00 72 00 – GENERAL CONDITIONS

- A. Article 11.3.1: In the first sentence, change "Owner" to "Contractor". Clarification: The Contractor is to provide the Builder's Risk Insurance for the project, including to cover the existing Recreation Center while underpinning and soil compaction work is being performed.

3. SECTION 07 41 13 – METAL ROOF PANELS

- A. Item 2.02.A.2: Change to read:

"2. Wind Uplift: UL 580, Class 90 wind uplift resistance. Refer to Structural Drawings for Wind Design Pressures."

4. SECTION 23 72 00 – AIR-TO-AIR HEAT RECOVERY EQUIPMENT

- A. Item 2.01.E.3, change to read:

"3. 18 gauge minimum interior and exterior walls. Exterior walls painted with 1500 hour acrylic paint."

5. SECTION 23 74 15 – CUSTOM NATATORIUM AIR HANDLING UNIT

- A. Item 2.02.C.1, change powder coat rating from 7.000 hours to 4,000 hours.
- B. Item 2.02.E.2, add the following at the end of the first sentence:
“coated with acrylic paint or powder coat to galvanized steel.”
- C. Item 2.02.E.3, add the following at the end of the first sentence:
“coated with acrylic paint or powder coat to galvanized steel.”
- D. Item 2.02.E.5, add the following at the end of the first sentence:
“coated with acrylic paint or powder coat to galvanized steel.”
- E. Item 2.02.E.6, add the following at the end of the paragraph:
“All wheels to be coated with Polyester Synthetic Resin..”
- F. Item 2.02.E.7, change to read:
“7. All galvanized components shall be coated with acrylic paint or power coated, and aluminum components shall be unpainted.
- G. Item 2.02.I.4, change heresite coating to epoxy e-coat.
- H. Item 2.02.I.5, add the following to the end of the sentence:
“Refer to 2.02.L Automatic Dampers.”
- I. Item 2.02.L, add the following:
“Blades extruded aluminum (6063-TS) air-foil profiles with clear anodized blades to a minimum thickness of 0.7 mils.”

6. SECTION 32 90 00 – PLANTING

- A. Item 2.05.A.1, change to read:
 - “1. Bark Mulch:
 - a. Products: Hemlock species wood shavings, free of growth or weeds, “sliver free.””

P A C K A G E A - S H E E T D R A W I N G S

7. SHEET C4 – WEST PARK LOT – DEMOLITION + GRADING PLAN

- A. Replace Sheet C4 with new Sheet C4 included with this Addendum.

P A C K A G E B - S H E E T D R A W I N G S

8. SHEET L1.0 – SITE PLAN

A. Replace Sheet L1.0 with new Sheet L1.0 included with this Addendum.

9. SHEET L2.0 – LAYOUT PLAN

A. Replace Sheet L2.0 with new Sheet L2.0 included with this Addendum.

10. SHEET L3.0 – GRADING PLAN

A. Replace Sheet L3.0 with new Sheet L3.0 included with this Addendum.

11. SHEET 4.0 - LANDSCAPE PLAN

A. Replace Sheet L4.0 with new Sheet L4.0 included with this Addendum.

12. SHEET L5.1 – SITE DETAILS

A. Replace Sheet L5.1 with new Sheet L5.1 included with this Addendum.

13. SHEET L5.2 – SITE DETAILS

A. Replace Sheet L5.2 with new Sheet L5.2 included with this Addendum.

14. SHEET L5.3 – SITE DETAILS

A. Replace Sheet L5.3 with new Sheet L5.3 included with this Addendum.

15. SHEET C1.6 – NEW UTILITY PLAN AND PROFILE, 10TH STREET

A. Replace Sheet C1.6 with new Sheet L5.3 included with this Addendum.

16. SHEET C1.7 – CIVIL DETAILS

A. Replace Sheet C1.7 with new Sheet C1.7 included with this Addendum.

A P P R O V A L S - P A C K A G E B

The following are approved based on information submitted to the Architect. Approval does not alter requirements of the Specifications or Drawings except where specifically noted otherwise. Contractor shall coordinate installation of approved products which the Contractor elects to use making such changes as may be required for the Work to be completed in all respects:

<u>Section</u>	<u>Item</u>	<u>Product/Manufacturers</u>
07 41 13	Metal Roof Panels	AMS Armor Lock by Architectural Metal Solutions TBC-Superseam by Bryer Company MS-200 by Taylor Metal Products

07 95 13	Expansion Joint, Type B	Jointmaster 1100-400 by Inpro Corp.
08 91 00	Louvers	Model ECD-635 by Potteroff Louver
20 05 13	Motors for Mechanical Equipment	Toshiba
20 05 14	Variable Frequency Drive Controller	Danfoss
23 52 17	Condensing Hot Water Boiler	Aerco
23 57 19	Liquid-to-Liquid Heat Exchanger	Taco
23 74 15	Heat Pipe	Advanced Cooling Technologies
23 83 39	Hydronic Unit Heater	Rittling
26 33 53	Emergency Lighting Inverter	Myers Series E
26 51 13	Indoor Lighting Fixtures (Type G)	Core 400 LX by V2 Lighting

END OF ADDENDUM NO. 2

BID FORM**PROJECT INFORMATION**

Project Title: Newport Aquatic Center and Sitework
 Project Location: Newport, Oregon

Owner's Name: City of Newport
 Owner's Address: 169 SW Coast Highway
 Newport, Oregon 97365

Bids Due: No later than 2:00 p.m. on Wednesday, July 29, 2015
 (Bids open immediately after receipt of Bids)

First Tier Subcontractor
 Disclosure Statement due: No later than 4:00 p.m. on Wednesday, July 29, 2015

BIDDER'S NAME:	
Bidder's Address:	
Telephone:	FAX:
Oregon CCB #	CCB Expiration date:

The undersigned is (check one of the following and insert information requested):

- _____ a. A Corporation organized and existing under the laws of the State of _____; or
 _____ b. A Partnership registered under the laws of the State of _____; or
 _____ c. An individual doing business under an assumed name registered under the laws of the State of _____; or
 _____ d. An individual doing business under his or her own name;

The Undersigned agrees to be bound by the following documents:

Advertisement for Bids
 Instructions to Bidders
 Package A: First-Tier Subcontractor Disclosure
 Package B: First-Tier Subcontractor Disclosure
 Bid Security
 Bidder Responsibility Certification
 Oregon Bidder Residency Statement
 Bidder Drug Testing Program Certification
 Non-Discrimination Certification
 Certificate of Compliance with Oregon Tax Laws
 Certificate of Licensing by Oregon Contractors Board
 Performance & Payment Bonds

Package A: Form of Agreement, General Conditions, Supplementary Conditions, Drawings, Specifications.

Package B: Form of Agreement, General Conditions, Drawings, Specifications
Prevailing Wage Rates

Addenda

ADDENDA

The Undersigned hereby acknowledges receipt of and agrees to be bound by addenda numbered _____ through _____, inclusive.

BASE BID – PACKAGE A

The Undersigned hereby proposes to furnish all material and labor and perform all Work as hereinafter indicated for Bid Package A – Newport City Hall Parking Expansion and Access Improvements in strict accordance with Drawings and Specifications prepared by Civil West Engineering Services, Inc for the following Base Bid Unit Prices:

Item No.	Description	Unit	Estimated Quantity	Unit Price	Total Estimated Price
1	Mobilization - Bonds and Insurance	ls	1		
2	Construction Facilities and Temporary Controls	ls	1		
3	Demolition and Site Preparation	ls	1		
4	Saw cut Existing Concrete, Sidewalks, and Pavement	lf	970		
5	Roadway Excavation (Cut/Fill)	cy	1500		
6	Foundation Stabilization	cy	50		
7	6" PVC SDR35 Sanitary Sewer Line Class "B" Backfill	lf	58		
8	8" PVC SDR35 Sanitary Sewer Line w/ Class "B" Backfill	lf	514		
9	8" PVC C900 Force Main Line w/ Class "B" Backfill	lf	390		
10	10" SDR35 Storm Drain Pipe w/ Class "B" Backfill	lf	95		
11	12" SDR35 Storm Drain Pipe w/ Class "B" Backfill	lf	104		
12	15" SDR35 Storm Drain Pipe w/ Class "B" Backfill	lf	291		

13	6" PVC C900 Water Service Line Class "B" Backfill	lf	20		
14	4" PVC C900 Water Service Line Class "B" Backfill	lf	20		
15	Tie into Existing SS Line	ea	2		
16	Tie into Existing Lift Station - Bench and Channel Manhole	ea	1		
17	SD Catch Basin	ea	4		
18	New 48" Diameter SD Manhole Std.	ea	7		
19	New 48" Diameter SD Manhole (10'-15' Depth)	ft	11		
20	New 48" Diameter SS Manhole Std.	ea	5		
21	New 48" Diameter SS Manhole (10'-15' Depth)	ft	2		
22	Existing SDMH connections	ea	2		
23	Adjust Manhole Rim	ea	5		
24	4" Hot tap Tee w/ 4" Gave Valve	ea	1		
25	4" Cap	ea	1		
26	6" Hot Tap Tee and 6" Gate Valve	ea	1		
27	6" Cap	ea	1		
28	8" - 45° Elbow w/ Thrust Restraint	ea	2		
29	8" Coupling w/ Thrust Restraint	ea	2		
30	Concrete Line Plugs	ls	1		
31	Relocate Existing Fire Hydrant	ea	1		
32	Modify Existing Manhole Base	ea	3		
33	Sub-Grade Geo-Textile Fabric	sy	11762		
34	1½ - 0 Compacted Aggregate Base	ton	1012		
35	¾" Aggregate Base for Sidewalk (4" Deep)	ton	98		
36	Asphalt Concrete Pavement	ton	643.4		

37	Type C Typical Straight Curb	lf	1115		
38	Curb and Gutter	lf	282		
39	Curb Retaining Wall	lf	155		
40	Commercial Driveway Approach	sf	660		
41	Concrete Stairs	ls	1		
42	Galvanized Steel Stairs	ls	1		
43	Galvanized Steel Handrail	ls	1		
44	6" Bollard	ea	2		
45	Truncated Dome	sf	100		
46	4" Concrete Sidewalk including access Ramps	sf	5920		
47	Concrete CMU Wall	sf	94		
48	Utility Trench	lf	235		
49	Painted Parking Pavement Striping	lf	1810		
50	12-inch Wide White Thermoplastic Stop Bar	lf	210		
51	Handicap Accessible Markings with Handicap Signs	ea	7		
52	Signage - Parking, Stop, Remove & Relocate	ea	16		
53	Light Pole Base - Installed	ea	7		
54	Landscape Restoration	ls	1		
55	Gas Service Line Trenching	lf	80		

Bid Package A: Total of Item Prices: \$_____;

_____ Dollars.

Words

BASE BID – PACKAGE B

The Undersigned hereby proposes to furnish all material and labor and perform all Work as hereinafter indicated for Bid Package B - Newport Aquatic Center in strict accordance with Drawings and Specifications prepared by Robertson/Sherwood/Architects pc for a Base Bid of:

Bid Package B: \$ _____

_____ Dollars.

Words

ALTERNATE BIDS – PACKAGE B

In addition to the Base Bid indicated above, the Undersigned proposes to furnish all labor and material and perform all Work relating to the following alternates as designated in Section 01 23 00.

<u>NO.</u>	<u>DESCRIPTION</u>	
Alternate No. 1:	Delete Enclosed Spectator Entrance	Deduct: \$ _____
Alternate No. 2:	Delete UV Treatment for Pool Systems	Deduct: \$ _____
Alternate No. 3:	Additional Sidewalk at SE 10 th Street	Add: \$ _____

It is understood that the Base Bid may be adjusted for any Alternates in determining the amount of the Contract. Any or all of the Alternates may be accepted or reinstated by the Owner at any time within sixty (60) calendar days after date of the Contract Award by the Owner, and if accepted or reinstated, payment shall be made therefore at the respective amounts named herein. If, prior to acceptance of any Alternate Bid, other Work is undertaken which affects the Alternate Bid Work, the Alternate Bid Sum will be adjusted accordingly.

UNIT PRICES

The Undersigned proposed to furnish all labor and material and perform all Work related to the following unit prices. Quantities are in addition to or less than the Base Bid quantities as indicated in Addendum No. 1:

<u>NO.</u>	<u>DESCRIPTION</u>	
Unit Price A:	Over Excavation and Fill	Add: \$ _____/Cubic Yard
Unit Price B:	Over Excavation and Fill	Deduct: \$ _____/Cubic Yard

OVERHEAD AND PROFIT

The above Bid Prices includes all fees, taxes, profit, overhead, and similar items, except those fees identified in the Project Manual to be paid by Owner. It is understood that the sum of the Bid items shall constitute complete compensation for construction of the projects and all appurtenances complete and ready for operation as shown on the plans and specifications.

TIME OF COMPLETION

Work will be completed within the time stipulated and specified in Summary of Work, Section 01 10 00.

BIDDER'S RESIDENCY

_____ The Bidder is a resident of the State of Oregon.

_____ The Bidder is a non-resident of the State of Oregon as defined below.

A non-resident of Oregon is not one who has paid unemployment taxes or income taxes in Oregon during the 12 calendar months immediately preceding submission of this Bid, nor has a business address in Oregon.

In determining the lowest responsible Bidder for this Work, the above stated percentage will be added to the Bid of non-resident Bidders for purposes of determining the low Bidder, but the percentage will not be added to the Contract Sum appearing in the Agreement.

OREGON TAX LAWS

The undersigned certifies that provisions of ORS 305.385, relating to Oregon tax laws will be complied with.

WORKERS COMPENSATION

The undersigned certifies that the Bidder, its subcontractors, if any, and all employers which would work on this project are subject employers under the Oregon Workers' Compensation law and shall comply with ORS 656.017, which requires them to provide Workers' Compensation coverage for all their subject workers.

BID SECURITY

Accompanying herewith is Bid Security; which is not less than ten percent (10%) of the total amount of the Base Bid plus Additive Alternate Bids.

BID SECURITY FORFEITURE

The undersigned further agrees that the Bid Security accompanying this Bid is left in escrow with the Owner; that the amount thereof is the measure of liquidated damages which the Owner will sustain by the failure of the undersigned to execute and deliver the above-named Agreement, and Performance and Payment Bonds, and that if the undersigned defaults in either executing the Agreement or providing the Performance and Payment Bonds within ten (10) days after receiving the contract forms, then the full value of the Bid Security may, at the Owner's option, become the property of the Owner; but if the Bid is not accepted within sixty (60) calendar days after the time set for the opening of the Bids or if the undersigned executes and timely delivers the said Agreement and Performance and Payment Bonds, the Security will be returned.

CONTRACT AND BOND

The undersigned agrees, if awarded the Contract, to provide proof that the Contractor and all Subcontractors have Public Works bonds filed with the Construction Contractor Board or are exempt under ORS 279C.800 to 279C.870, as amended by SB477. This shall be available to the City before starting Work.

The undersigned agrees, if awarded the Contract, to deliver to the Owner within ten (10) days after receiving the Contract forms an executed Agreement together with satisfactory Performance and Payment Bonds in an amount equal to one hundred percent (100%) of the Contract Sum.

The Surety requested to issue the Performance and Payment Bonds will be:

Name of Surety Company: _____.

The undersigned hereby authorizes said Surety Company to disclose any information to the Owner concerning the Undersigned's ability to supply Performance and Payment Bonds in the amount of the Contract Sum.

EMPLOYEE DRUG TESTING PROGRAM

The undersigned certifies to have in-place a Qualifying Employee Drug Testing Program, pursuant to ORS 279C.505(2).

WAGE RATES

The undersigned agrees, if awarded a Contract, to be bound by and comply with the provisions of ORS 279C.800 to 279C.870 pertaining to the payment of prevailing rates of Wage.

CONTRACTORS' REGISTRATION

As a condition to submitting this Bid, a Contractor must be registered and in good standing with the Oregon Construction Contractors Board in accordance with ORS 701.035 to 701.055, and the Contractor must disclose the Registration Number. Failure to register and disclose the Number, will make this a non-responsive Bid and the Bid will be rejected, unless contrary to Federal Law.

Contractor's Registration Number: _____

Expiration Date: _____

SUBCONTRACTOR REGISTRATION

The undersigned hereby certifies that all Subcontractors performing construction work as described in ORS 701.005(2) will be registered with the Construction Contractors Board prior to commencing work under this Contract.

NON-COLLUSION

The undersigned hereby certifies that the bid has been arrived at by the bidder, independently, and has been submitted without collusion with, and without any agreement, understanding or planned course of action with, any other contractor, bidder, or vendor on materials, supplies, equipment or services, described in the invitation to bid, designed to limit independent bidding or competition. The contents of the bid herein presented and made have not been communicated by the Bidder or its employees or agents to any person not an employee or agent of the bidder or its surety on any bond furnished with the bid, and will not be communicated to any such person prior to the official opening of the bid.

NON DISCRIMINATION

The undersigned certifies that Bidder has not discriminated and will not discriminate against minority, women or emerging small business enterprises in obtaining any required subcontracts.

REQUIRED ATTACHMENTS TO BID FORM

Bid Security with Power of Attorney
 Bidder Responsibility Certification
 Oregon Bidder Residency Statement
 Bidder Drug Testing Program Certification
 Non-Discrimination Certification
 Certificate of Compliance with Oregon Tax Laws
 Certificate of Licensing by Oregon Contractors Board

SIGNATURES

Firm Name: _____

Address: _____

Phone: _____ Fax: _____

By: _____
(Sole Individual)

Type or Print Name: _____

or

By: _____
(Partner)

Type or Print Name: _____

or

By: _____
(Authorized Officer of Corporation)

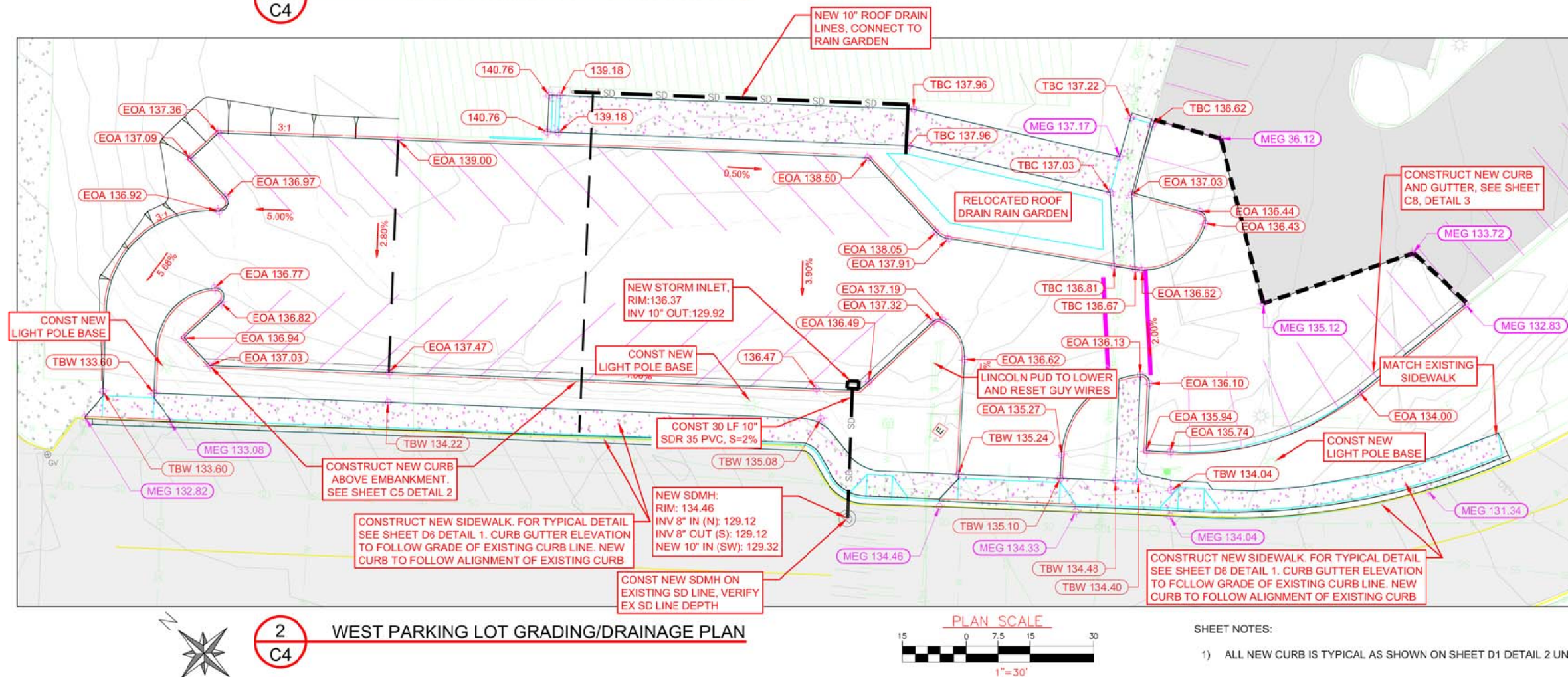
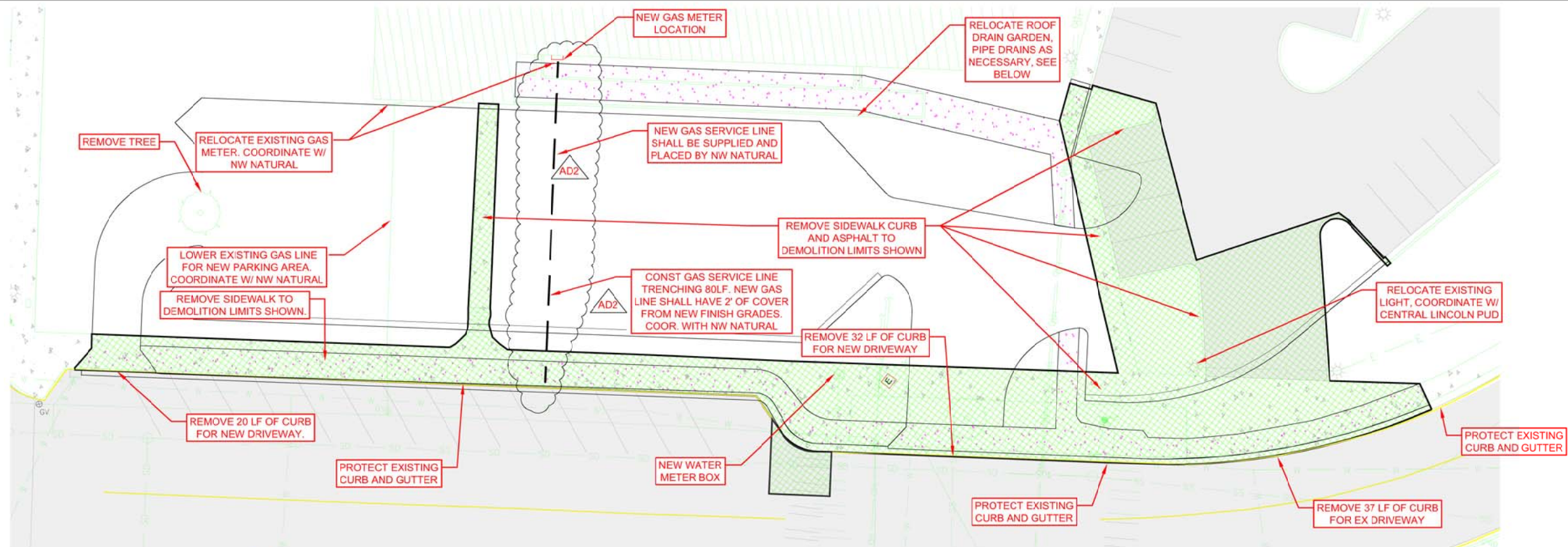
Type or Print Name: _____

Attested By: _____
(Secretary of Corporation)

Type or Print Name: _____

END OF BID FORM

DATE: 7/9/15 FILE: Y:\CW_Projects\2302 Newport\2302-034 Newport City Hall Parking Expansion and Access Imps\Drawings\DWG\Grading-Working.dwg



REV.	DATE	DESCRIPTION	BY
1	7-9-15	ADDENDUM #2 (AD2)	RW

Designated By:	VAS	Drawn By:	VAS	Checked By:	JGP
Project No:	2302-034				

CITY OF NEWPORT LINCOLN COUNTY, OREGON	CITY HALL PARKING EXPANSION PLAN	WEST PARKING LOT - DEMOLITION + GRADING PLAN
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Sheet No.	C4
Date	MAY 2015

1 SITE PLAN
1"= 20'-0"

2 BID ALTERNATE 1
1"= 20'-0"

3 BID ALTERNATE 3
1"= 20'-0"

0' 10' 20' 40'
NORTH

0' 10' 20' 40'
NORTH

NOTES

- All survey information provided by:
Pariani Land Surveying
P.O. Box 551
Shady Cove, OR 97539
P: 541.890.1131
Dated: 08.28.2014
updated:
- Verify exact locations and routing of existing underground utilities prior to starting excavation. Repair any damage to existing pipes, utilities or related facilities at Contractor's expense in a manner approved by Owner's Representative.
- Barricade and protect trunks, limbs, roots and root zones beyond dripline of existing trees and plant materials to remain as directed by Owner's Representative. Cut no limbs or roots larger than 1.5" in diameter without approval of Owner's Representative. Notify Owner's Representative prior to performing any excavation within Tree Protection Fence or Zone of Protection.
- Install new utilities so that rim elevations are flush with finish grades at pavement, lawn and plant beds. Adjust rim elevations of existing utilities accordingly.
- All accessible components including, but not limited to signs, ramps, tactile warning, markings, etc. shall conform to all Oregon State Standards for parking and access for the disabled. Obtain approval from Owner's Representative prior to installing any related work.
- In addition to improvements shown, repair all areas disturbed or damaged by construction impacts to the condition that existed prior to construction.
- Verify existing elevations where new work abuts existing to remain. Notify Owner's Representative of any discrepancies.

LEGEND

	PROPERTY LINE
	PROPOSED TREE CENTERS See Landscape Plan L3.0
	CONCRETE PAVING - STANDARD 4" concrete with #4 rebar, 18" o.c. both ways, over 4" crushed rock.
	VEHICULAR AC PAVING 3" AC Paving over 2" of 3/4"-0 aggregate leveling course, then 4-6" of 1 1/2"-0 aggregate base course. See Civil.
	PLANT BED (1) Non-irrigated (1.3.4)
	PLANT BED REPAIR
	CONCRETE WALL (4) (1.3.7)
	HANDRAIL (1.3.7) (1.3.7)
	8' CHAINLINK FENCE (1) AND GATE (1.3.7)
	ACCENT STONES (1.3.7) LG - Large MD - Medium SM - Small
	TRENCH DRAIN See Specifications
	EXISTING
	(E) MANHOLE COVER To remain
	(E) VAULT To remain
	(E) FIRE HYDRANT To remain or be relocated See Civil
	NEW MANHOLE COVER See Civil
	NEW FDC See Civil
	NEW UTILITY VAULT See Civil and Electrical
	TRUNCATED DOME 24" WIDTH IN THE DIRECTION OF TRAVEL (1.3.7)
	EXISTING LIGHT POLE To be relocated. Install center of pole 18" from face of concrete pad and 18" from face of stair cheek wall. See City Standard Detail 290.82. Coordinate exact location with Owner's Representative
	(E) WATER METER To remain

Drawn By	Checked	Date	Project
		17 JUNE 2015	1419

L1.0

Site Plan

CAMERON
McCarthy
LANDSCAPE ARCHITECTURE & PLANNING
180 East Broadway • Eugene, Oregon 97401 • P 541.485.7265
www.cameronmccarthy.com • F 541.485.7266

132 East Broadway, Suite 540
Eugene, Oregon 97401
P 541 342.8077
F 541 345.4302

Robertson Sherwood Architects PC
www.robertsonsherwood.com

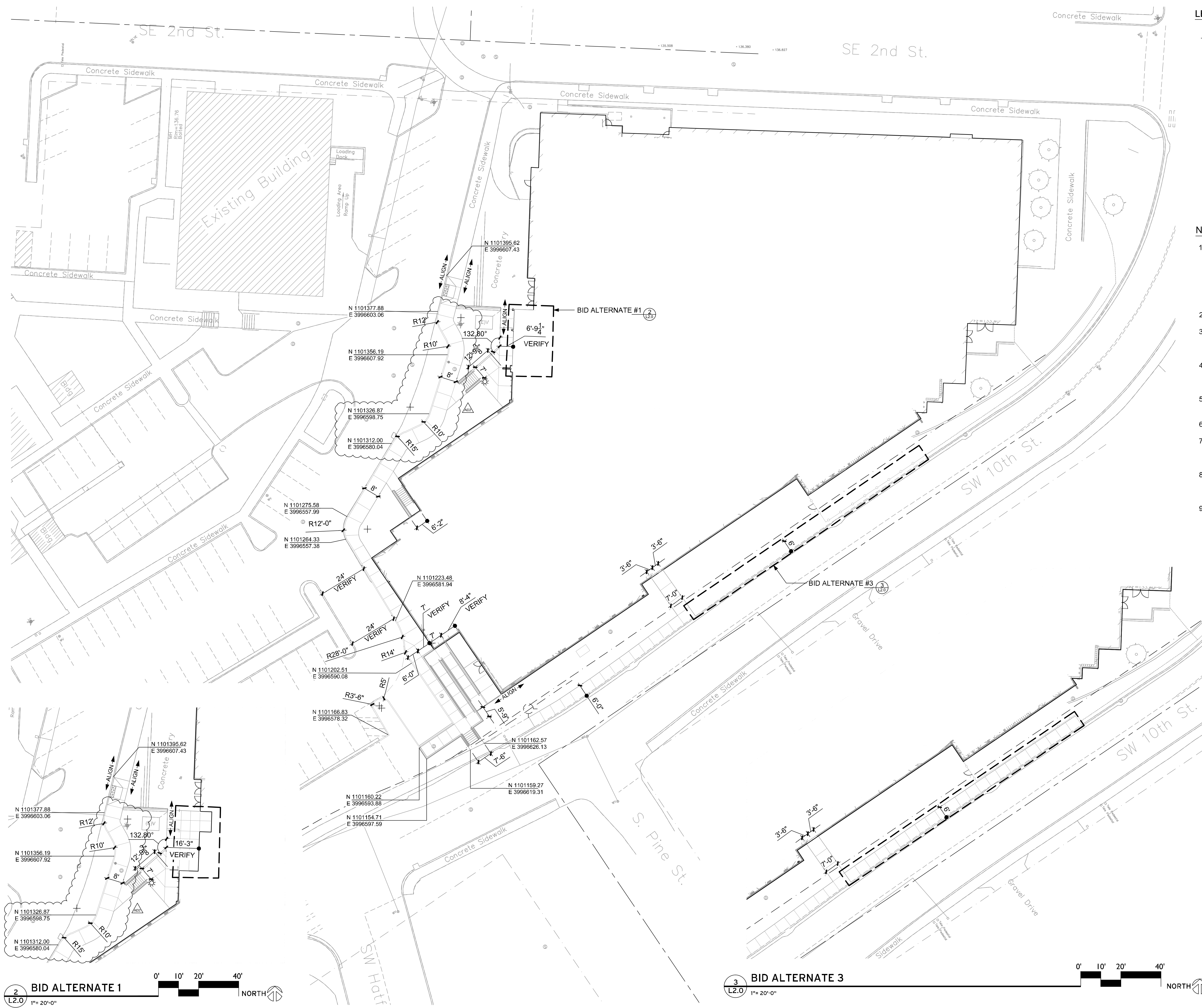
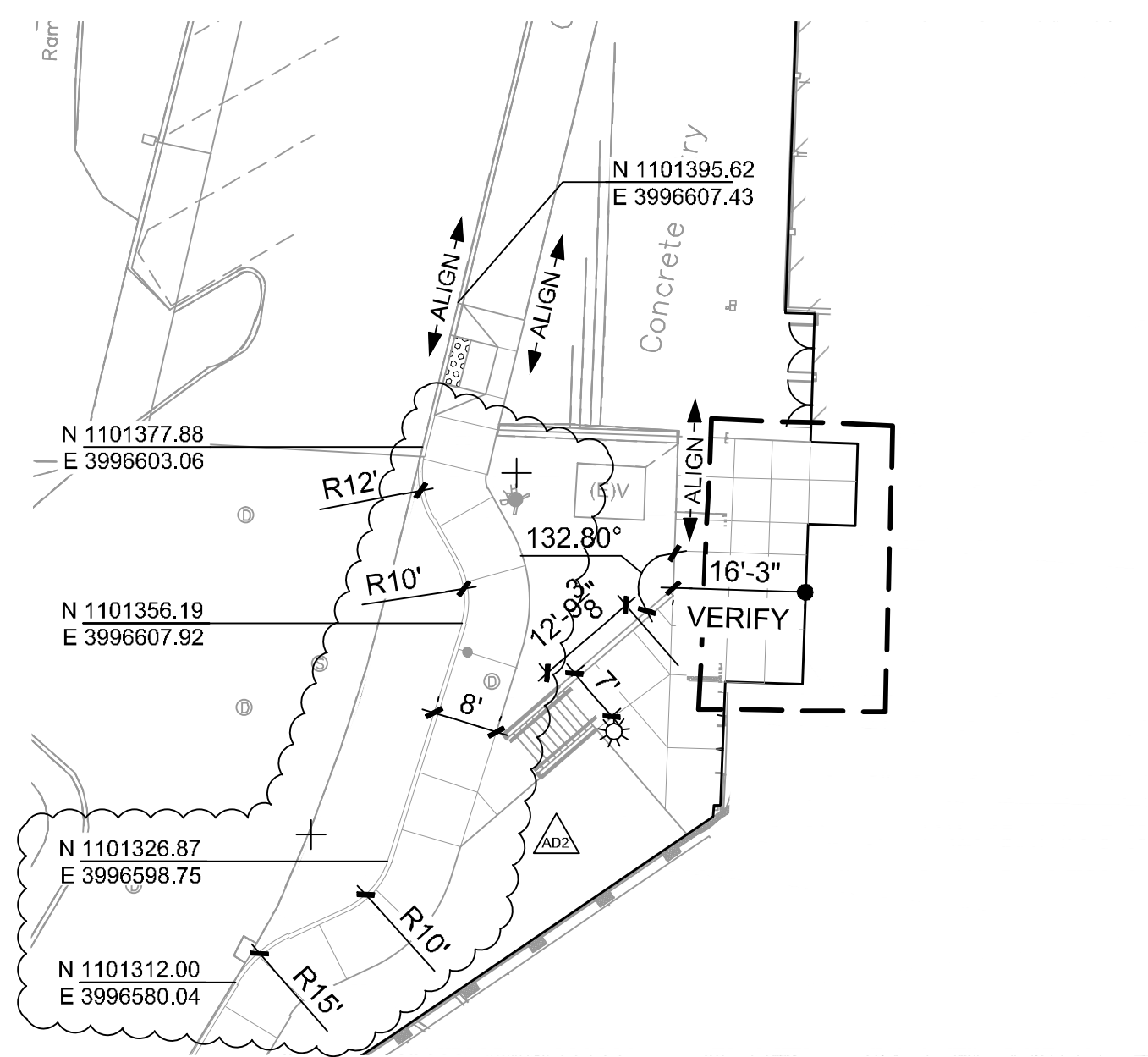
225 SE Avery Street
Newport, OR 97365



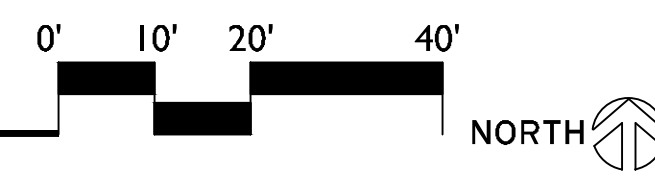
REGISTERED
LANDSCAPE ARCHITECT
MATTHEW S. KOEHLER
OREGON
192103

1 L2.0 LAYOUT PLAN
1"= 20'-0"

2 L2.0 BID ALTERNATE 1
1"= 20'-0"



3 L2.0 BID ALTERNATE 3
1"= 20'-0"



LEGEND

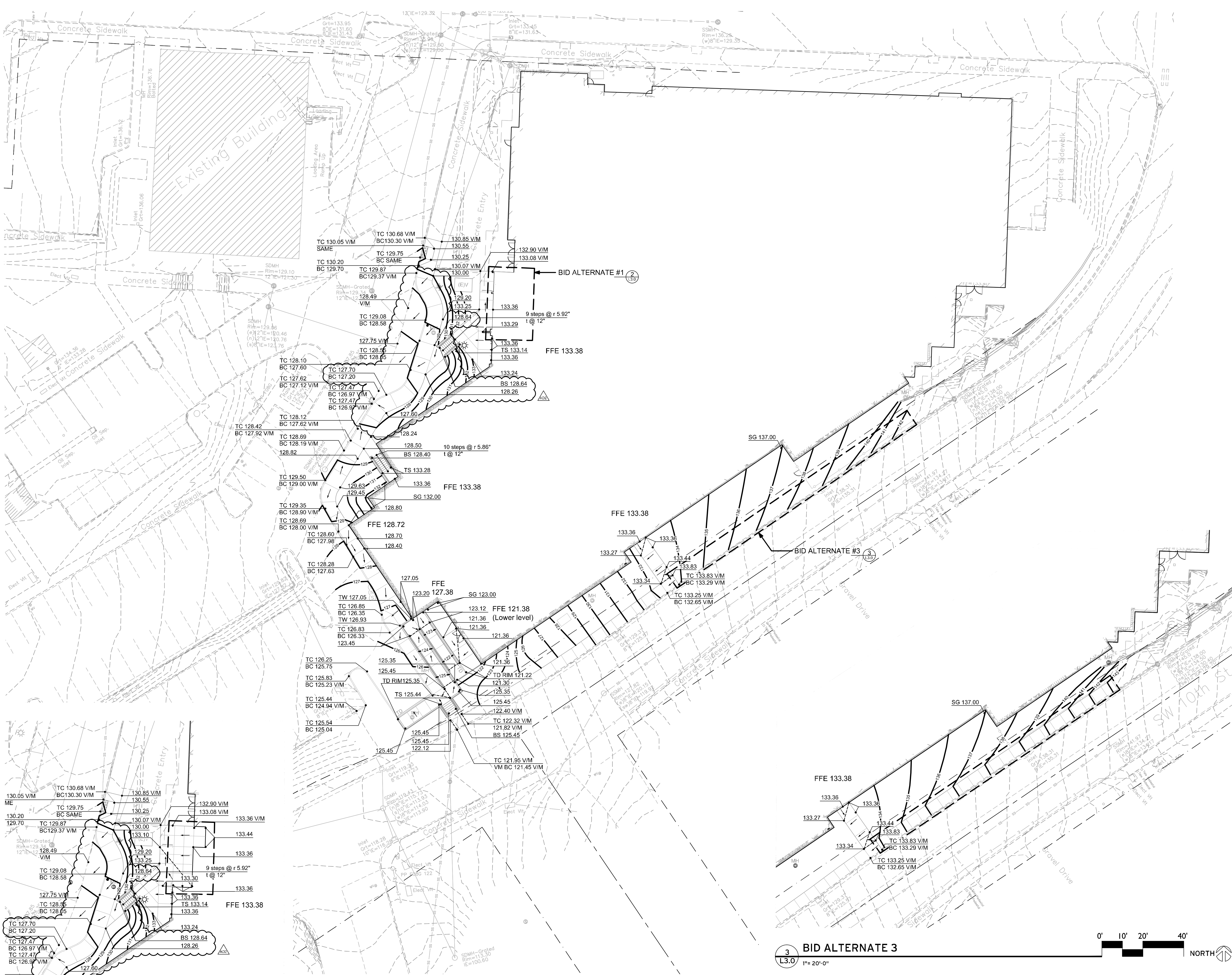
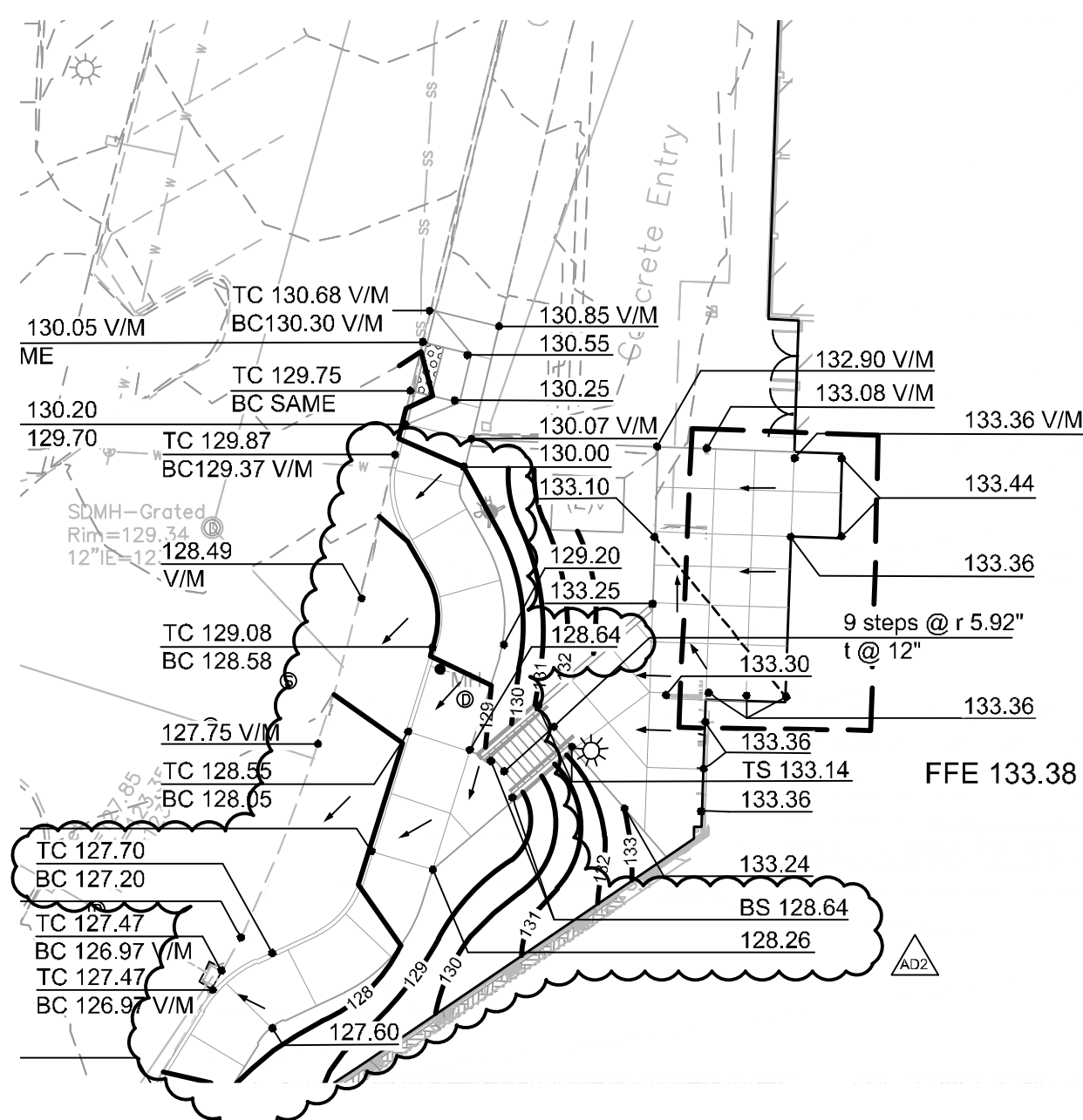
- PROPERTY LINE
- DIMENSION
- DIMENSION FROM EXISTING ELEMENT / FACE OF BUILDING OR BASELINE
- ALIGN ELEMENTS
- NORTHING AND EASTING COORDINATES
- RADIUS DIMENSION

- NOTES**
- All survey information provided by:
Pariani Land Surveying
P.O. Box 551
Shady Cove, OR 97539
P: 541.890.1131
Dated: 08.28.2014
updated:
 - Verify existing conditions in the field. Notify Owner's Representative of any discrepancies.
 - Verify exact locations and routing of existing underground utilities prior to starting excavation. Repair any damage to existing pipes, utilities or related facilities at Contractor's expense in a manner approved by Owner's Representative.
 - Cease layout work and notify Owner's Representative of any discrepancies in project benchmarks, control points, coordinates, dimensions, degrees, locations, stakes, etc. Obtain approval prior to executing any layout work different from that shown or specified.
 - Locate all concrete paving joints as shown on Site and Layout Plans. All concrete paving joints not specifically dimensioned shall be equally spaced between shown or noted limits.
 - All dimensions are at the exposed face of element (curb or walk) unless noted otherwise.
 - All accessible components including, but not limited to signs, ramps, tactile warning, markings, etc. shall conform to all Oregon state standards for parking and access for the disabled. Obtain Owner's Representative's approval prior to installing any related work.
 - See Civil Plans for locations of all drainage structures (deck drains, trench drains, catch basins and area drains). Coordinate exact location with Owner's Representative of concrete edge and jointing locations shown on Site Plan prior to installation.
 - Match new concrete sidewalk to existing sidewalk at nearest joint.

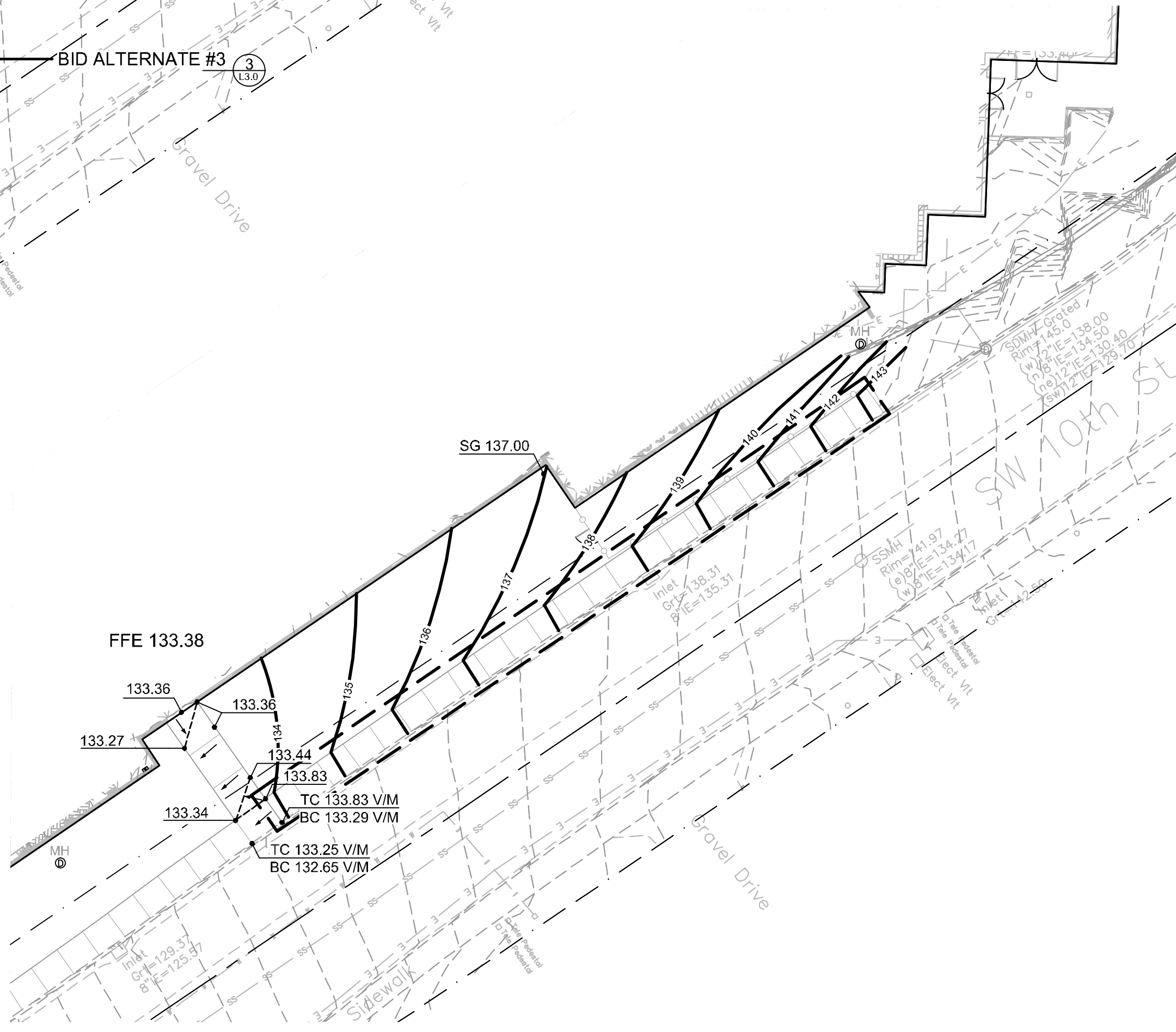
REGISTERED LANDSCAPE ARCHITECT MATTHEW S. ROEBLER OREGON 11/20/03	
Robertson Sherwood Architects pc www.robertsonsherwood.com	
P 541 342.8077 132 East Broadway, Suite 540 Eugene, Oregon 97401	F 541 345.4302
Newport Aquatic Center 225 SE Avery Street Newport, OR 97365	
ADDENDUM 2 7/15/2015	
Layout Plan	
Drawn By	Checked
Date	17 JUNE 2015
Project	1419
L2.0	

1 GRADING PLAN
L3.0 1"= 20'-0"

2 BID ALTERNATE 1
L3.0 1"= 20'-0"

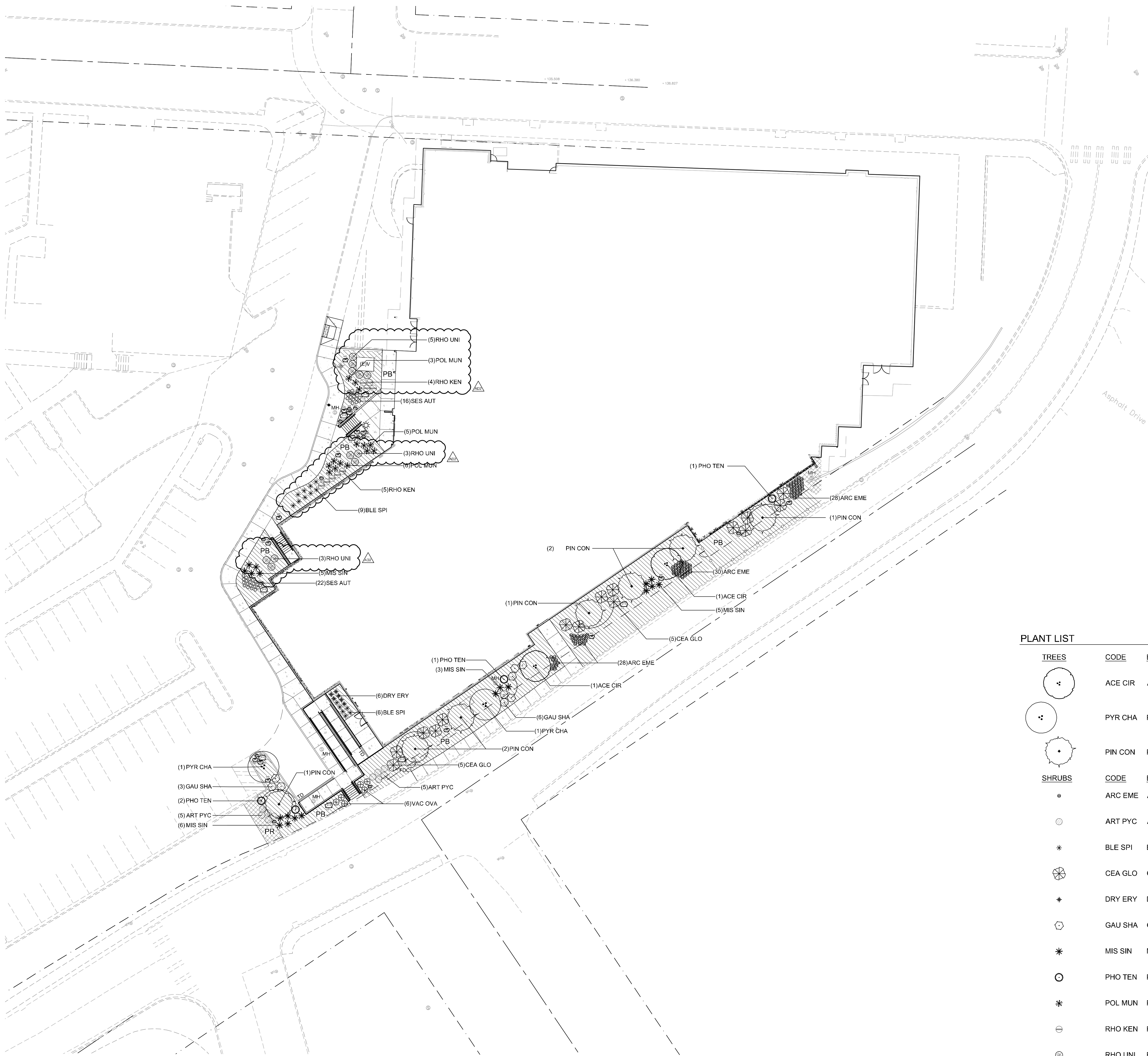


3 BID ALTERNATE 3
L3.0 1"= 20'-0"



LEGEND	
FFE	FINISH FLOOR ELEVATION
432.25	SPOT ELEVATION
TC 432.25 BC 431.75	TOP OF CURB ELEVATION BOTTOM OF CURB ELEVATION
TS 432.25 BS 431.75	TOP OF STAIR ELEVATION BOTTOM OF STAIR ELEVATION
TW 432.25 BW 431.75	TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION
432	NEW CONTOUR LINE
	BREAK IN PLANE Arrow indicates direction of flow
VM	VERIFY EXISTING SPOT GRADE AND MATCH ELEVATION See Note #6 and #8.
SG	SOIL GRADE
(E)	CONTOURS

- NOTES
- All survey information provided by:
Pariani Land Surveying
P.O. Box 551
Shady Cove, OR 97539
P: 541.890.1131
Dated: 08.28.2014
 - Verify exact locations and routing of existing underground utilities prior to starting excavation. Repair any damage to existing pipes, utilities or related facilities at Contractor's expense in a manner approved by Owner's Representative.
 - Barricade and protect trunks, limbs, roots and root zones beyond dripline of existing trees and plant materials to remain as directed by Owner's Representative. Cut no limbs or roots larger than 2" in diameter without approval of Owner's Representative. Notify Owner's Representative prior to performing any excavation within protection areas.
 - All accessible components including, but not limited to signs, ramps, tactile warning, markings, etc. shall conform to all Oregon State Standards for parking and access for the disabled. Obtain Owner's Representative's approval prior to installing any related work.
 - Install new utilities so that rim elevations are flush with finish grades at pavement, lawn and plant beds. Adjust rim elevations of existing utilities accordingly.
 - Verify existing elevations where new work abuts existing to remain. Notify Owner's Representative of any discrepancies prior to any construction.
 - Adjust rim elevations of existing utilities so that rims are flush with finish grade at new paving and lawns.
 - Blend all new elevations back to existing grade to create a uniform slope. Maximum slope, 4:1.
 - Construct smooth transitions between new paving improvements and existing paving to remain.
 - Verify that all slopes and cross-slopes meet current ADA requirements. Cross-slope must not exceed 2%. No accessible path is to exceed 5% slope, except where designated with handrails and then is not to exceed 8.3%. Field verify existing and designated slopes. Notify Owner's Representative if designed slopes exceed requirements prior to installation.



LEGEND

PROPERTY LINE

PROPOSED TREES
DECIDUOUS AND EVERGREEN
• non-irrigated
• 1.5"-2" caliper

ROCK MULCH @ PLANT BED ¹/_{3.5}

SHRUBS AND GROUNDCOVERS ¹/_{3.5} ²/_{15.7}
• Non-irrigated

PLANT BED REPAIR
• Rock Mulch
• additional soil to blend grades as needed

ACCENT STONES ³/_{15.7}
LG - Large
MD - Medium
SM - Small

- NOTES
1.

All survey information provided by:
Pariani Land Surveying
P.O. Box 551
Shady Cove, OR 97539
P: 541.890.1131
Dated: 08.28.2014
2.

Verify exact locations and routing of existing and proposed underground utilities prior to starting any excavation. Any damage to existing pipes, underground utilities or related facilities to be repaired at Contractor's expense in a manner approved by Owner's Representative.
3.

Do not install any plant materials until Owner's Representative has reviewed and approved irrigation system installation, area coverage balancing, soil preparation and finish grading. Refine the shape and finish grade of plant beds as directed by Owner's Representative.
4.

Protect all existing trees and plant materials to remain including limbs, trunks, roots and root zones. Protect trunks, limbs, roots, and root zones at drip line of existing trees and plant materials to remain as directed by Owner's Representative. Cut no limbs or roots larger than 1.5" in diameter without approval of Owner's Representative. Sharp pruning equipment such as saws and loppers must be used for roots greater than 1" diameter. Roots shall be cut with approved saws.
5.

Finish grade is top of soil. Mulch is in addition.
6.

Prune all new plant materials as directed by Owner's Representative.
7.

Plant quantities shown are for Contractor's convenience only. Contractor is responsible to provide 100% coverage of entire area at spacing shown.
8.

Triangle space all shrubs and groundcovers, unless otherwise noted or shown.
9.

Trees, shrubs, and groundcovers planted too deeply will not be accepted. See typical planting details.
10.

In addition to improvements shown, repair all areas disturbed or damaged by construction impacts to the condition that existed prior to construction.

PLANT LIST						
TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	ACE CIR	Acer circinatum	Vine Maple	B & B or Cont.		6'
	PYR CHA	Pyrus Calleryana 'Glen's Form'	Chanticleer Callery Pear	B & B or Cont.	1.5"-2.0"	
	PIN CON	Pinus contorta contorta	Shore Pine	B & B or Cont.	1.5"-2.0"	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZ	SPACING	
	ARC EME	Arctostaphylos x 'Emerald Carpet'	Emerald Carpet Manzanita	1 gal	18" o.c.	
	ART PYC	Artemisia pycnocephala	Sandhill Sage	1 gal	36" o.c.	
	BLE SPI	Blechnum spicant	Deer Fern	1 gal	30" o.c.	
	CEA GLO	Ceanothus gloriosus 'Point Reyes'	Point Reyes Ceanothus	5 gal	72" o.c.	
	DRY ERY	Dryopteris erythrosora 'Brilliance'	Autumn Fern	1 gal	30" o.c.	
	GAU SHA	Gaultheria shallon	Salal	5 gal	48" o.c.	
	MIS SIN	Miscanthus sinensis 'Yakushima'	Dwarf Maiden Grass	3 gal	42" o.c.	
	PHO TEN	Phormium tenax 'Atropurpureum'	Purple New Zealand Flax	5 gal	48" o.c.	
	POL MUN	Polystichum munitum	Western Sword Fern	3 gal	36" o.c.	
	RHO KEN	Rhododendron x 'Ken Janek'	Ken Janek Rhododendron	5 gal	36" o.c.	
	RHO UNI	Rhododendron x 'Unique'	Unique Rhododendron	5 gal	42" o.c.	
	SES AUT	Sesleria autumnalis	Autumn Moor Grass	1 gal	18" o.c.	
	VAC OVA	Vaccinium ovatum	Evergreen Huckleberry	3 gal	36" o.c.	



REGISTERED
538
MATTHEW S. KOEHLER
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LANDSCAPE ARCHITECT

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ADDENDUM 2 7/15/2015

Landscape Plan

Drawn By

Checked

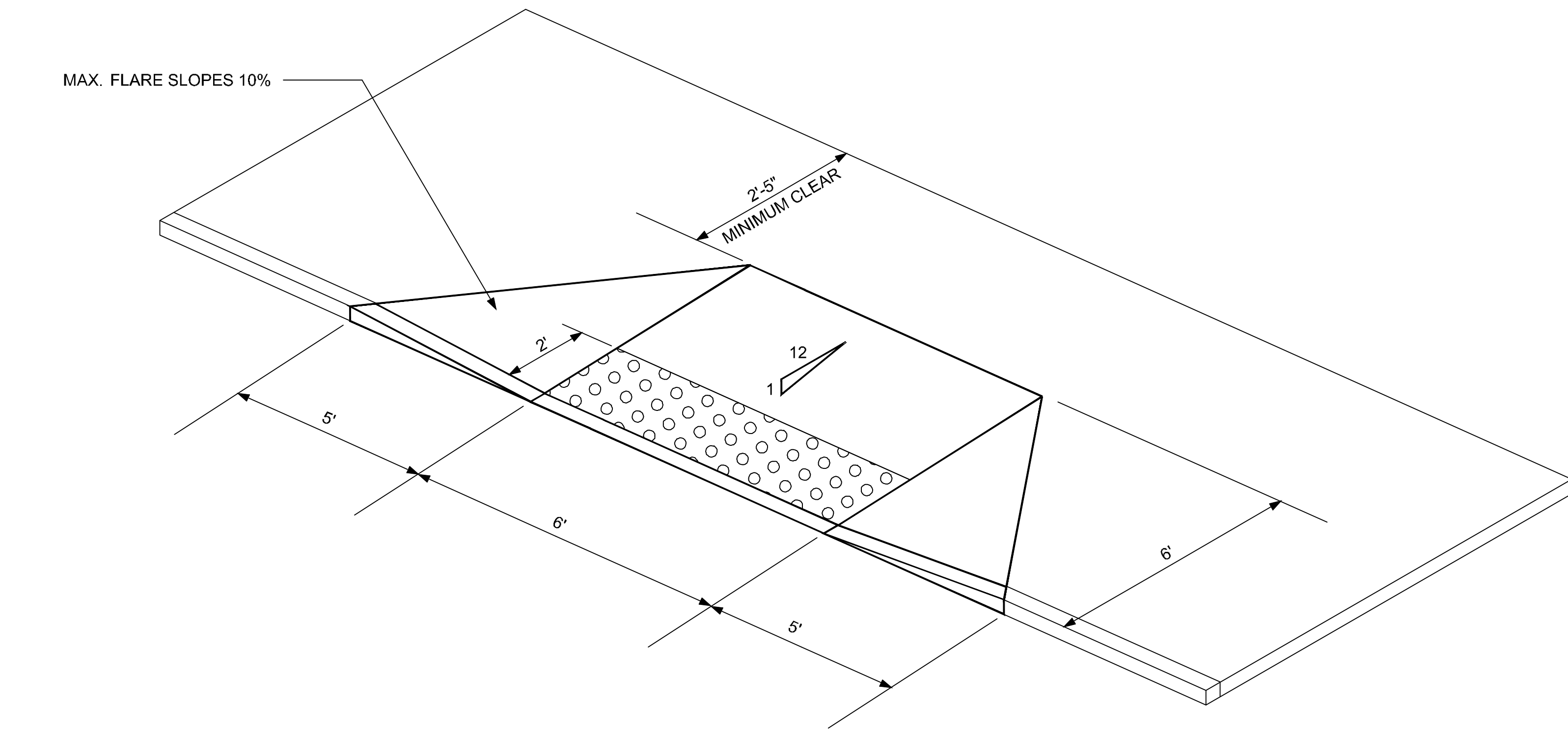
Date

17 JUNE 2015

Project

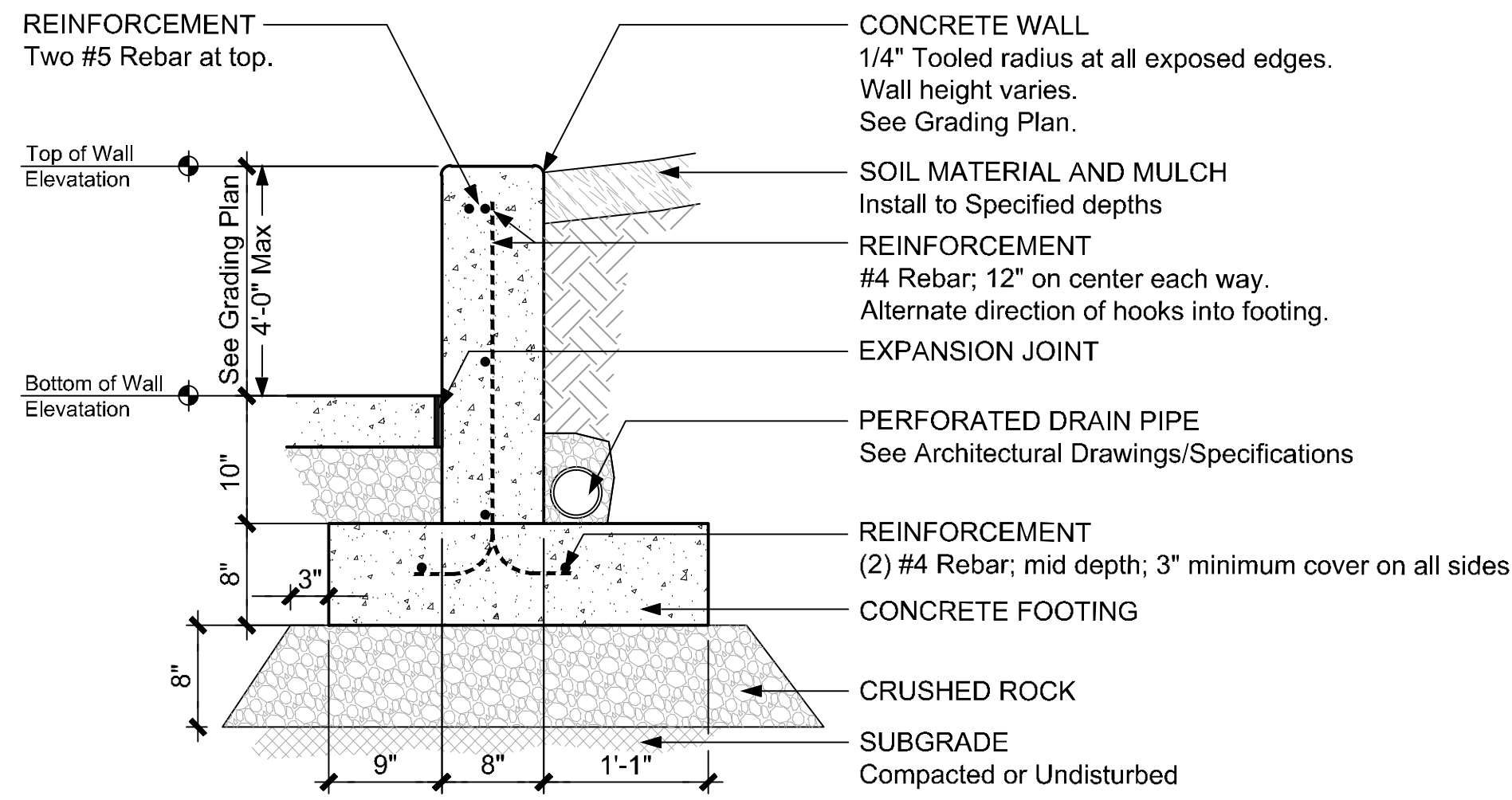
1419

L4.0



PERPENDICULAR SIDEWALK RAMP

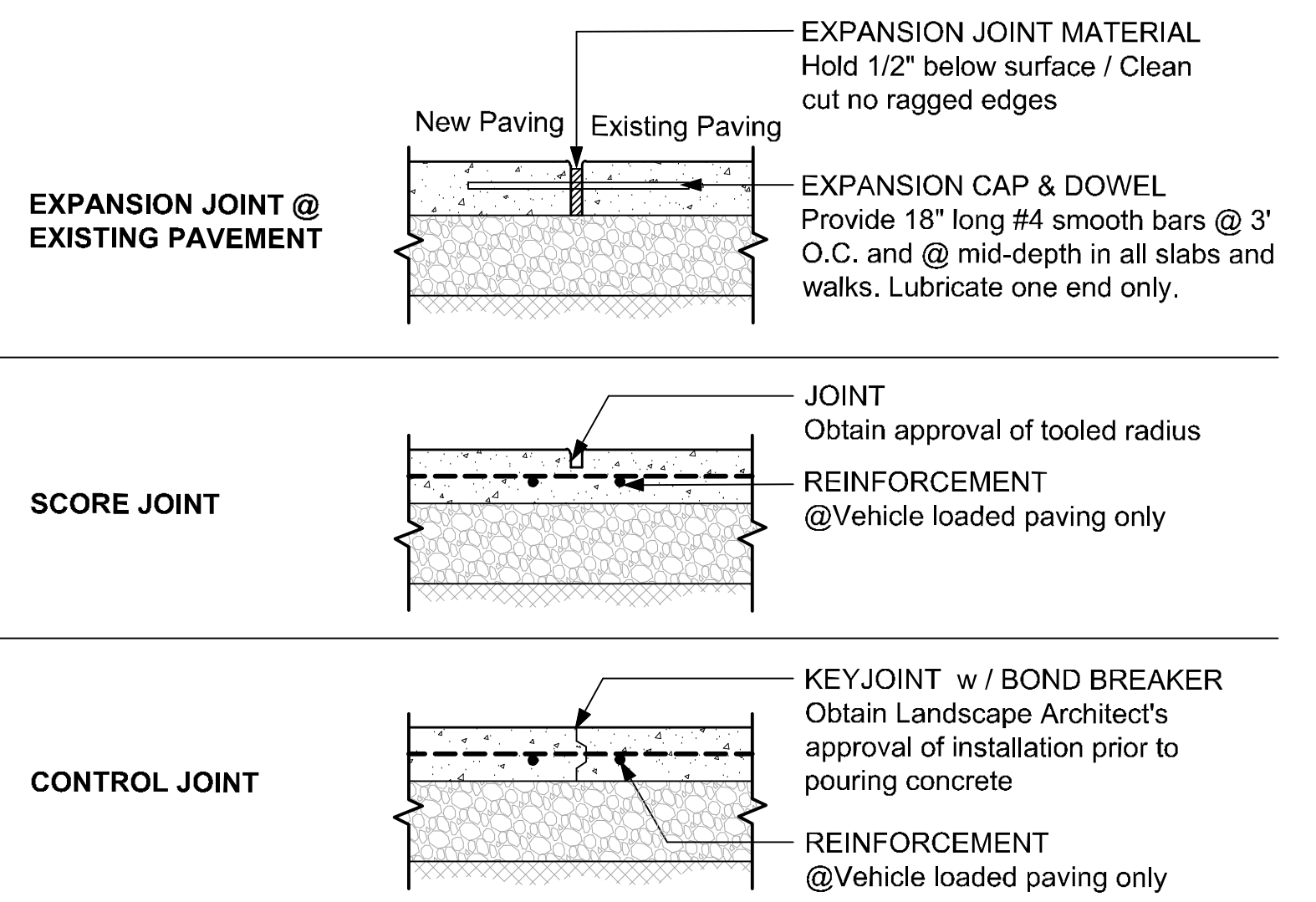
NTS 6



- NOTES**
- See Grading Plan for Top of Wall elevation.
 - See Specifications for wall finish.

CONCRETE WALL

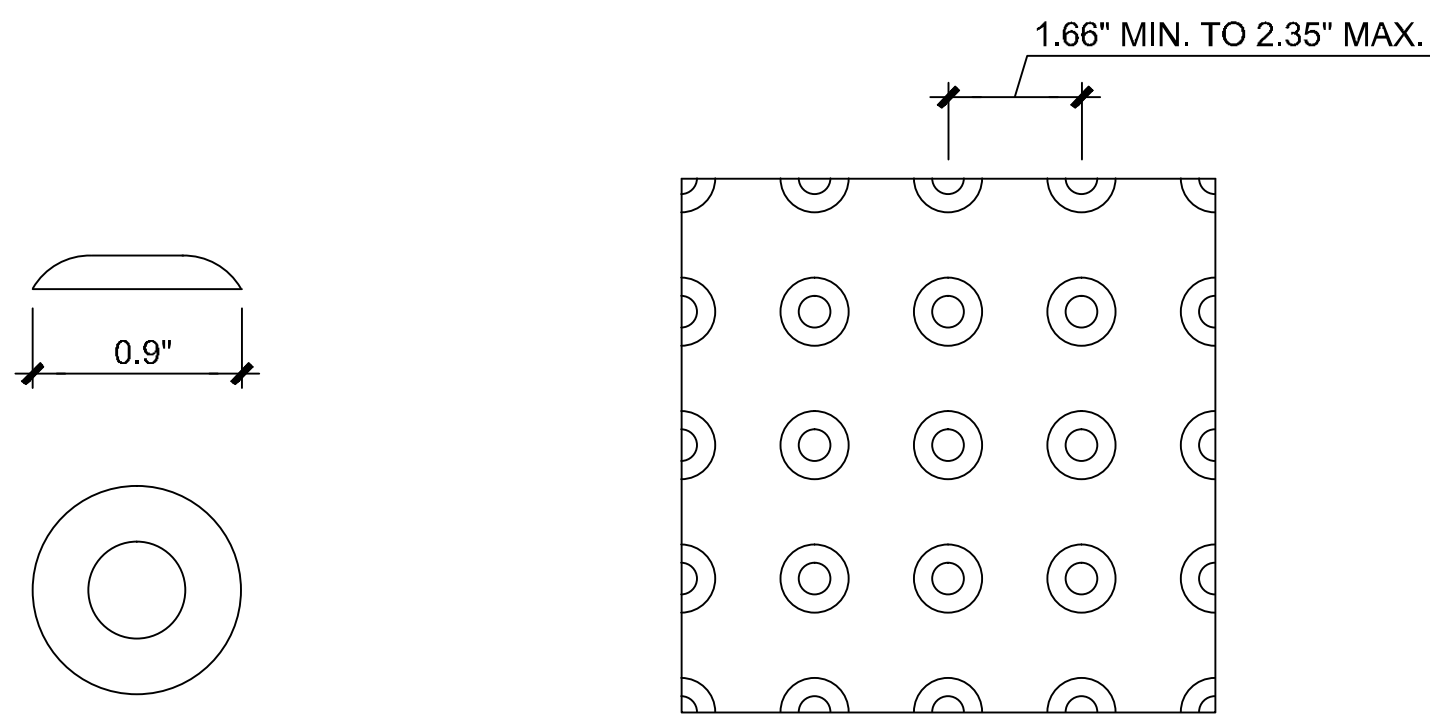
NTS 4



- NOTES**
- Locate joints where shown on Drawings and as Specified.
 - Provide sample of concrete joint finishing tools for approval of joint radius and depth.

CONCRETE JOINTS

NTS 1

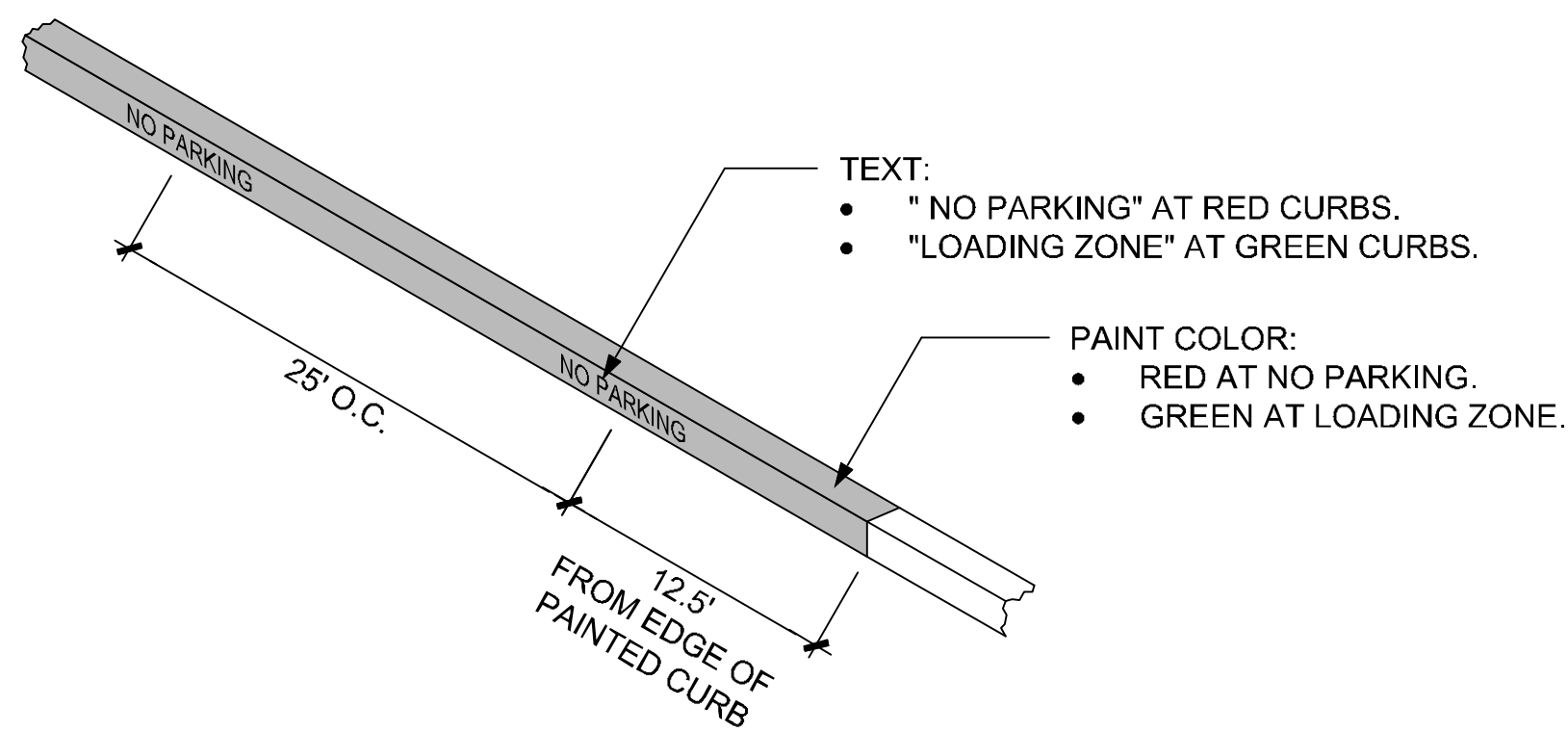


TRUNCATED DOME DETAIL

- NOTES**
- PLACE DOME TEXTURE IN THE LOWER 2' ADJACENT TO TRAFFIC THROAT OF RAMP ONLY.
 - COLOR OF DOMES TO BE SAFETY YELLOW.

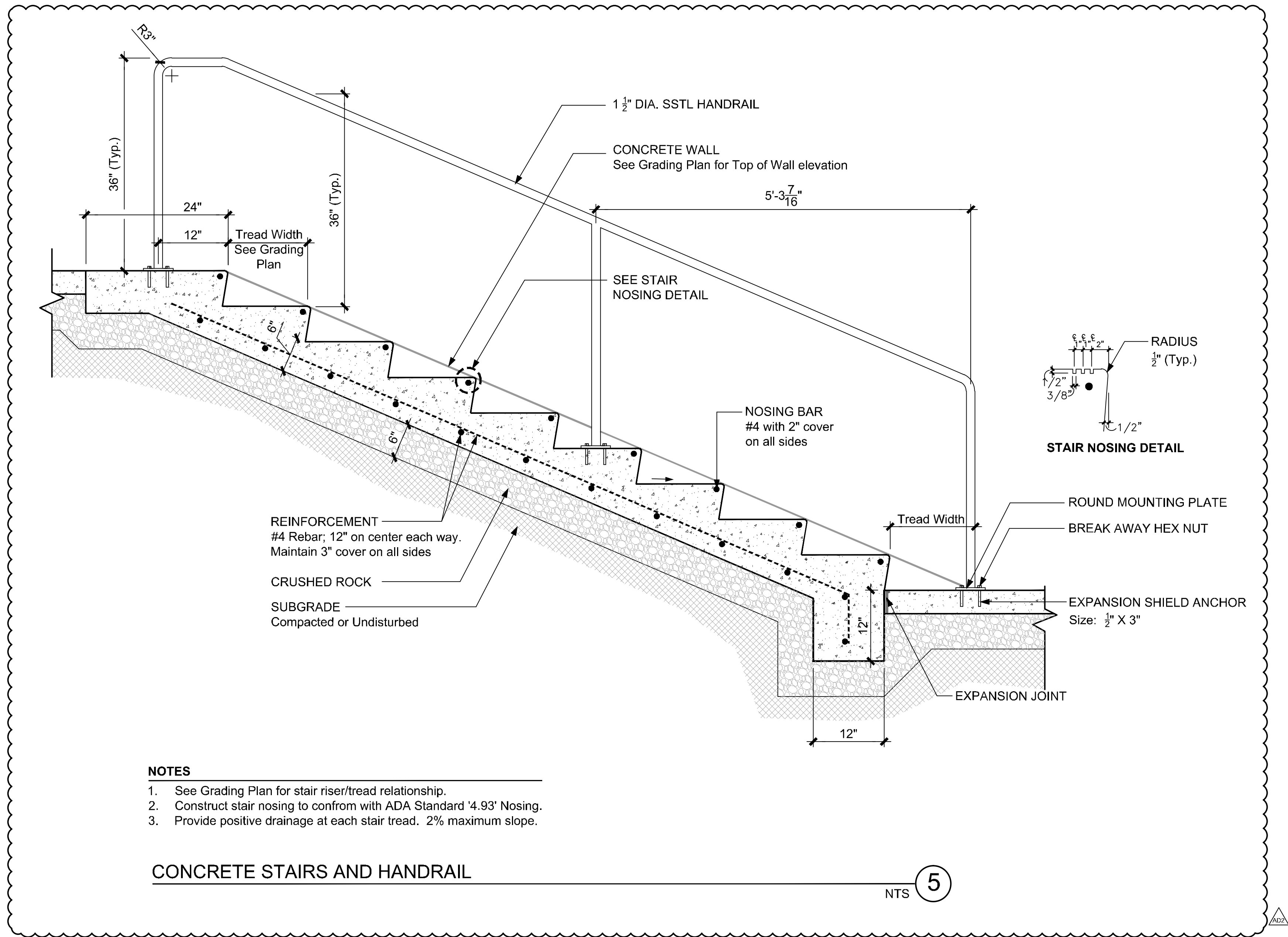
TRUNCATED DOME AT RAMP

NTS 7



NO PARKING PAINTED CURB DETAIL

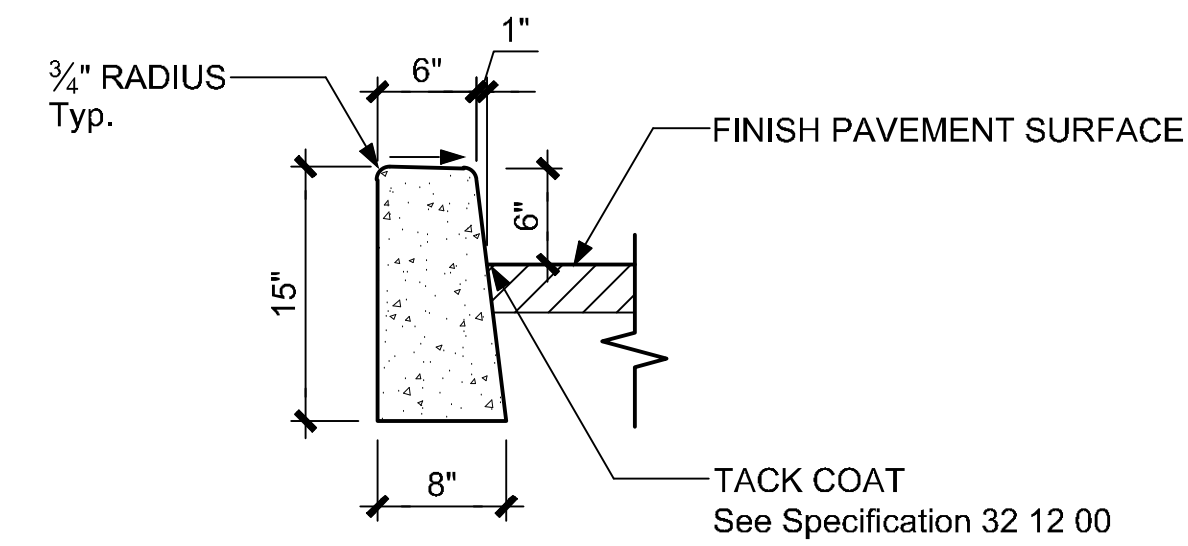
NTS 8



- NOTES**
- See Grading Plan for stair riser/tread relationship.
 - Construct stair nosing to conform with ADA Standard '4.93' Nosing.
 - Provide positive drainage at each stair tread. 2% maximum slope.

CONCRETE STAIRS AND HANDRAIL

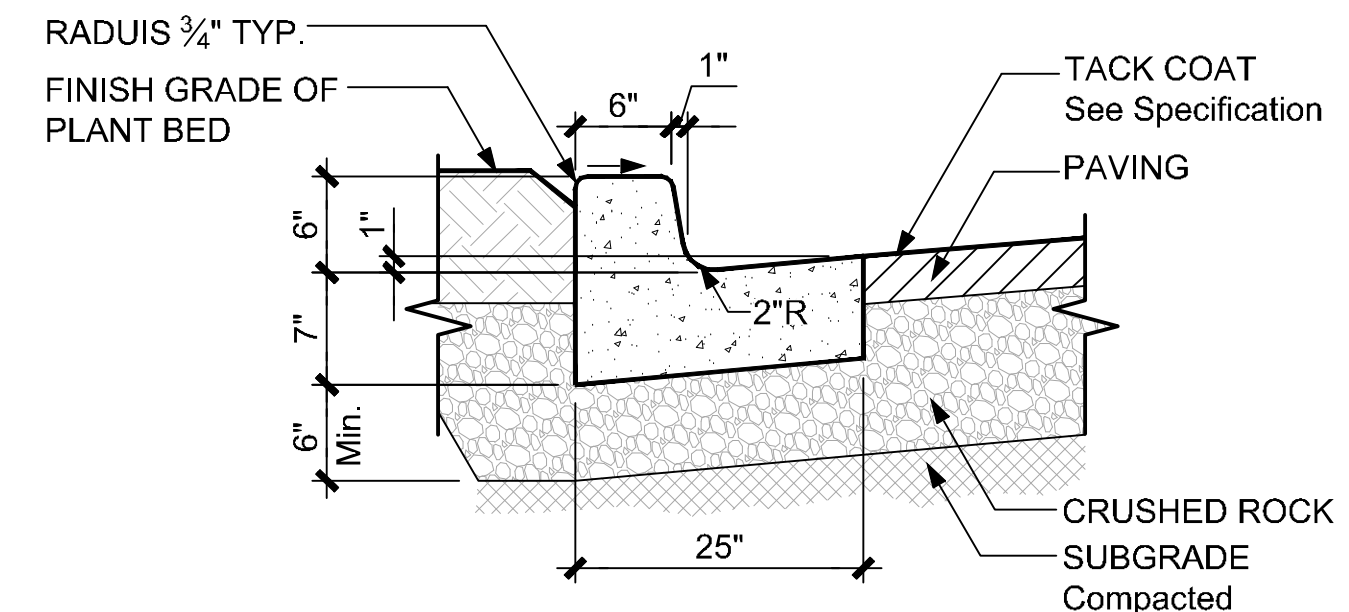
NTS 5



- NOTES**
- Slope top of curb toward AC 2%.
 - Provide expansion joints @ 100' o.c. max. and @ all points of tangency.
 - Sawcut green concrete control joints @ 20' max.
 - Drop top of curb @ ramp and aprons.

CONCRETE CURB - STANDARD

NTS 2



- NOTES**
- Slope top of curb toward gutter 2%.
 - Provide smooth transitions from and to connecting valley gutters.
 - Match direction of gutter bar pitch to pitch of adjacent paving.
 - Provide expansion joints @ 100' O.C. Max and @ all points of tangency.
 - Sawcut green control joints @ 20' O.C. max.

CONCRETE CURB AND GUTTER

NTS 3



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ADDENDUM 2 7/15/2015

Details

Drawn By

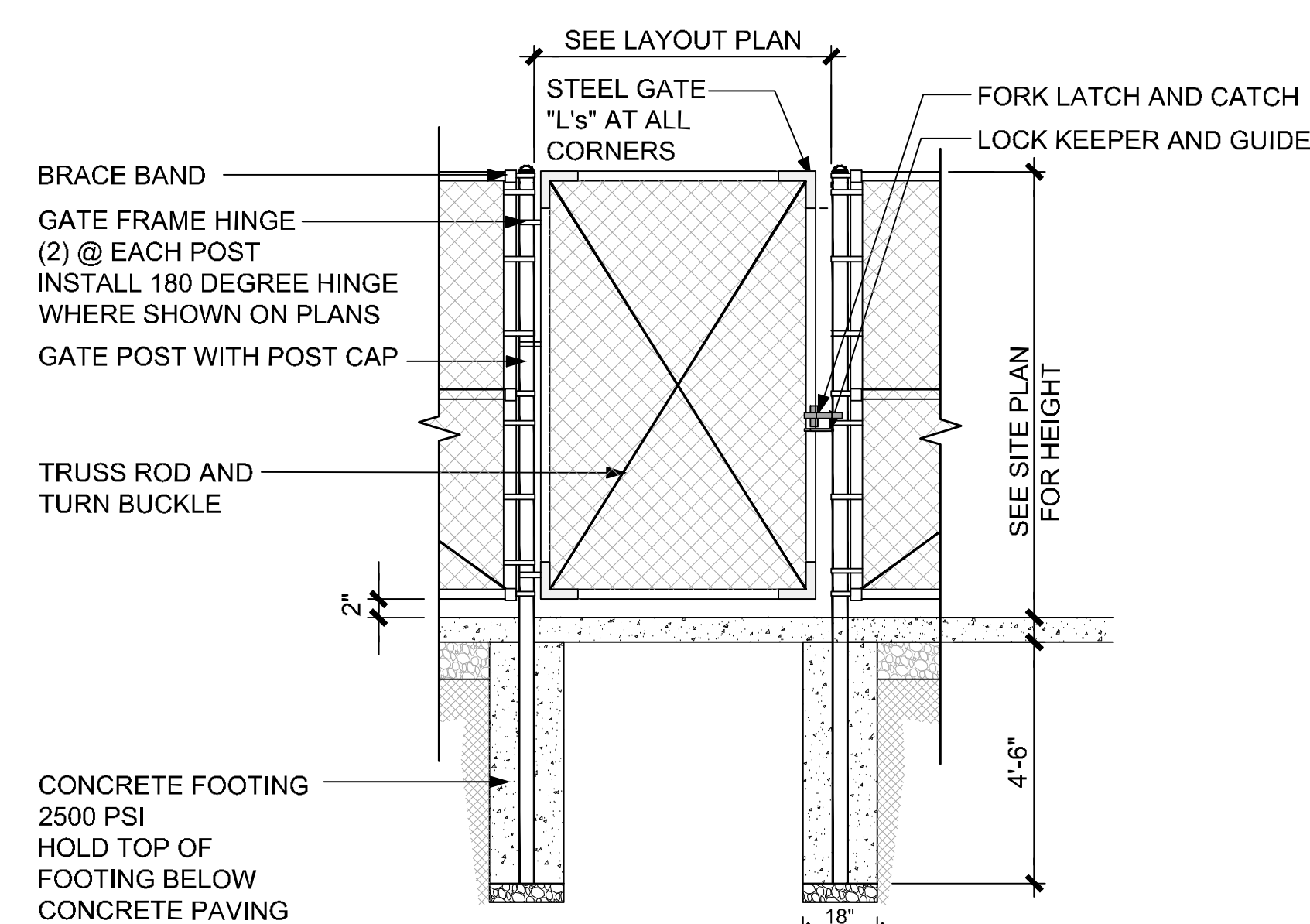
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Date
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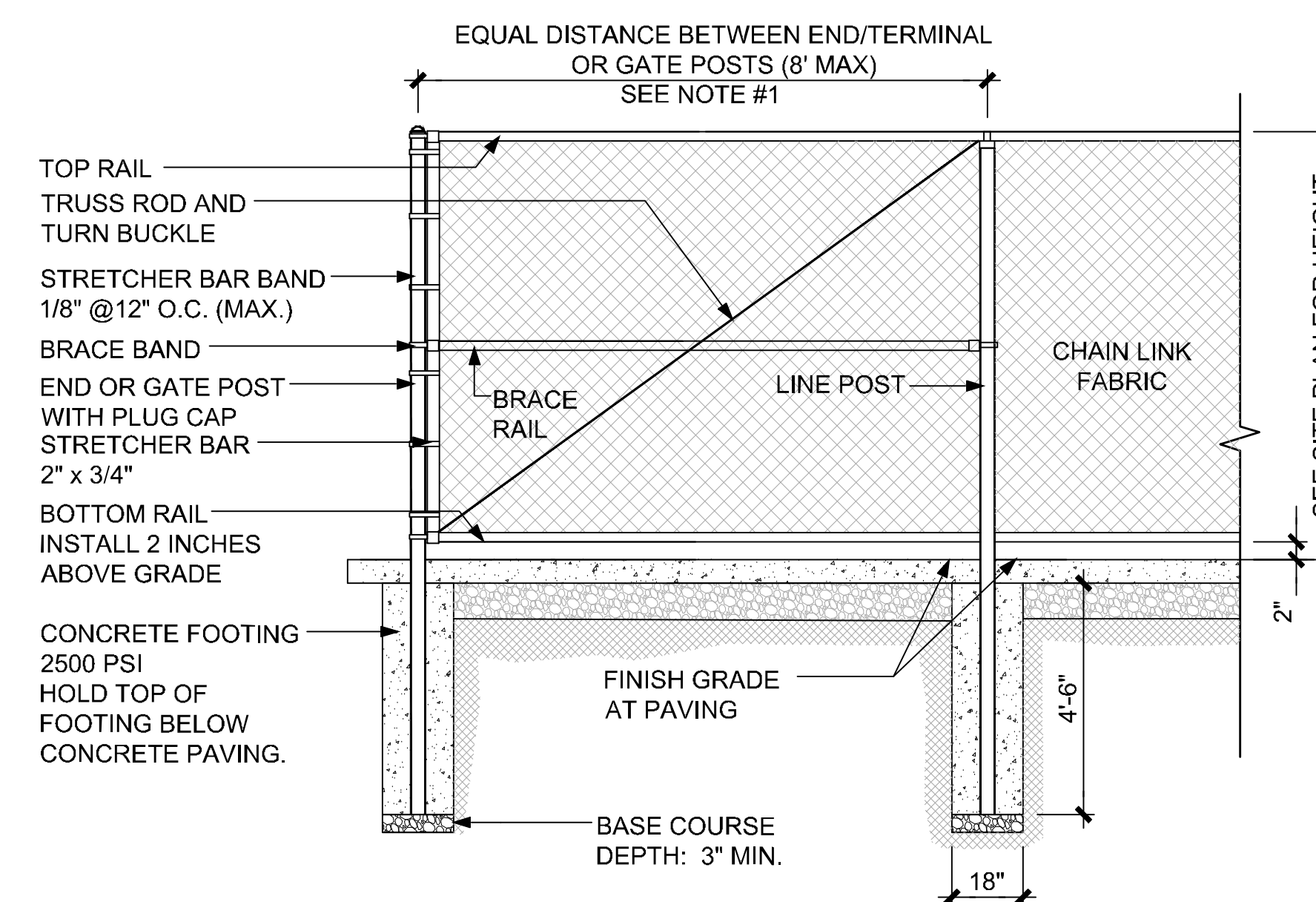
Project
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L5.1

----- 42" SSTL GUARDRAIL
 _____ 36" SSTL HANDRAIL



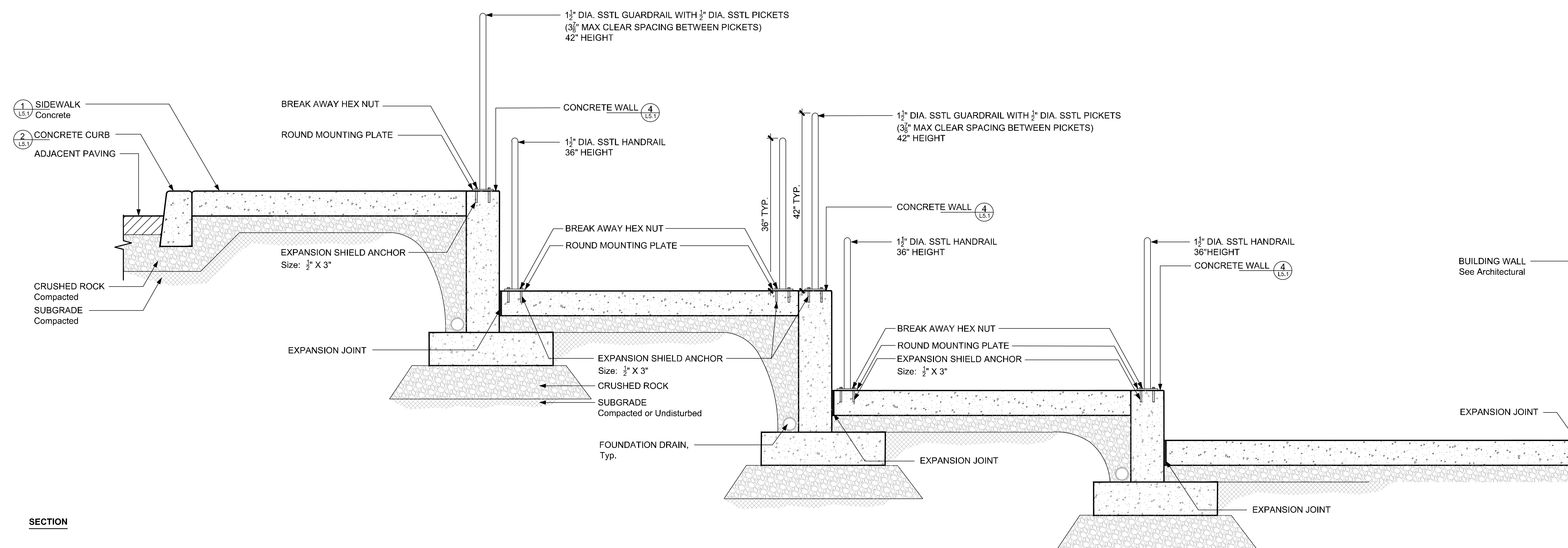
- NOTES**
1. COORDINATE LAYOUT AND INSTALLATION WITH CONCRETE WORK. LOCATE FENCE POSTS AT CONCRETE SCORE JOINTS AS SHOWN ON PLANS WHERE APPLICABLE.
 2. SUBMIT SHOP DRAWINGS FOR FENCE, GATE, AND ASSEMBLIES AS SPECIFIED.
 3. SEE SPECIFICATIONS FOR FINISHES AND MATERIALS.
 4. CONFIRM GATE SWING IS NOT IMPEDED BY SURROUNDING GRADES OR SITE ELEMENTS PRIOR TO FABRICATION.



CHAINLINK FENCE AND GATE

NTS

1



SECTION

CONCRETE RAMP WITH HANDRAIL

NTS

②





